

**SAUSALITO PLANNING COMMISSION
RESOLUTION 2025-11**

**APPROVAL OF A CONDITIONAL USE PERMIT AND A ZONING PERMIT TO CONVERT
AN EXISTING OFFICE BUILDING INTO A 12-UNIT MULTI-FAMILY APARTMENT
BUILDING AT 2015 BRIDGEWAY
APN: 064-135-24 and 064-135-28
PROJECT ID: 2024-00241**

WHEREAS, an application has been filed by the Applicant, Jay Behr, on behalf of Owner, AFNBLMN, LLC, requesting a Conditional Use Permit, Zoning Permit, and Lot Line Adjustment to convert an existing three-story office building into a 12-unit multi-family residential building with two affordable (low-income) units using the provisions of State Density Bonus Law at 2015 Bridgeway (APNs: 064-135-24 and 064-135-28); and

WHEREAS, the project site is listed in the Site Inventory in the City's adopted 6th Cycle Housing Element and is identified as having a maximum zoning density of 29 units per acre; and

WHEREAS, the project site is located within the Neighborhood Commercial land use designation of the General Plan and Neighborhood Commercial (CN-1) Zoning District; and

WHEREAS, the Planning Commission conducted a duly-noticed public hearing on May 14, 2025, at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission has reviewed a Conditional Use Permit, Zoning Permit, and a Lot Line Adjustment for the proposed Project and considered the information contained in the staff report as well as any and all oral and written testimony on the proposed Project; and

WHEREAS, the Planning Commission has reviewed and considered the Project plans titled "2015 Bridgeway", updated on May 18 and received on May 21, 2025; and

WHEREAS, the Planning Commission finds that the proposed project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report; and

WHEREAS, the Planning Commission finds that the requisite findings for approval set forth in SMC Section 10.60.050 A-I can be made; and

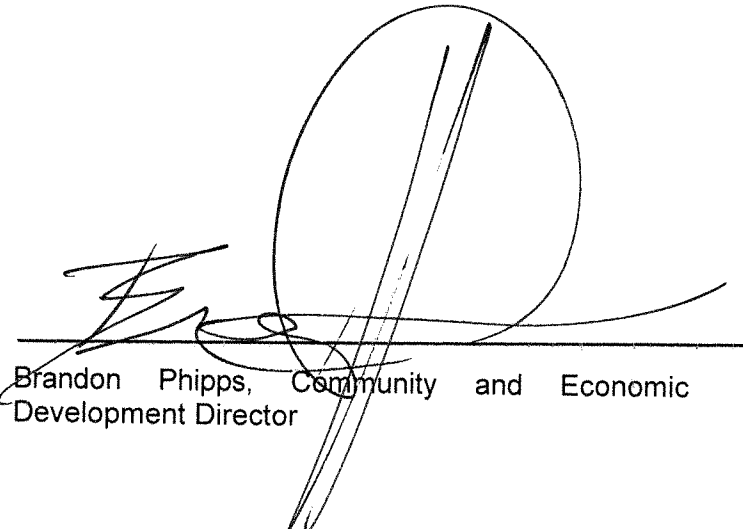
NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Planning Commission, in the exercise of its independent judgment, determines that the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Infill Development Projects) under the California Environmental Quality Act (CEQA) Guidelines, based on the analysis contained in the staff report, and further finds that none of the exceptions to the use of a categorical exemption in CEQA Guidelines 15300.2 applies to the project.

2. The Conditional Use Permit is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "2015 Bridgeway", updated on May 18 and received on May 21, 2025 (Attachment 3).
3. The Zoning Permit is approved pursuant to SMC 10.52.040 and 10.50.020.E, subject to the attached conditions of approval (Attachment 2), and as shown in the project plans titled "2015 Bridgeway", updated on May 18 and received on May 21, 2025 (Attachment 3).

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 28th day of May 2025, by the following vote:

AYES:	Commissioner: Marlatt, Moore, Junius, Saad
NOES:	Commissioner: Luxenberg
ABSENT:	Commissioner:
ABSTAIN:	Commissioner:



Brandon Phipps, Community and Economic
Development Director

ATTACHMENTS

- 1 Findings
- 2 Conditions of Approval
- 3 Project Plans

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2025-11
May 28, 2025
APN: 064-135-24 and 064-135-28
PROJECT ID: 2024-00241**

ATTACHMENT 1: FINDINGS

Conditional Use Permit Findings

To approve the Conditional Use Permit, the Planning Commission must determine whether the project is in conformance with the required Conditional Use Permit Findings in Section 10.60.050 A-I:

- A. The proposed use is allowed with issuance of a conditional use permit, pursuant to Chapters 10.20 through 10.28 SMC (Zoning Districts Regulations), or SMC 10.46.040 (Conditional uses), Chapter 10.44 SMC (Specific Use Requirements) or any other applicable section of this title.***

The proposed residential use is allowed in the CN-1 Zoning District with a Conditional Use Permit pursuant to SMC Table 10.24-1 and SMC 10.44.190.B.c. The Applicant is invoking State Density Bonus Law for the proposed project and using one of three incentives/concessions provided to them to build two residential units on the ground floor.

- B. The proposed use is consistent with the general plan, the purposes of the Zoning Ordinance, and the purposes of the applicable zoning district.***

The proposed project is consistent with the General Plan, the purposes of the Zoning Ordinance, and the purposes of the applicable zoning district, as the Neighborhood Commercial (CN-1) Zoning District and land use designation allows for residential uses in tandem with resident serving commercial uses. In addition, the Project Site is listed in the Site Inventory in the City's adopted 6th Cycle Housing Element and is identified as having a maximum zoning density of 29 units per acre. The proposed Project is consistent with this density, as the Project proposes 8 base units, and will utilize the Density Bonus Law for the additional four units. The proposed Project will provide a total of 12 units, while providing a greater level of affordability with two low-income units.

- C. The proposed use, together with the applicable conditions, will not be detrimental to the public health, safety, or general welfare of the City.***

The proposed conversion of the existing office building back to a residential use consisting of 12 units will not be detrimental to the public health, safety, or general welfare of the City.

- D. The proposed use complies with each of the applicable provisions of the Zoning Ordinance.***

The proposed use complies with each of the applicable and objective development standards of the Zoning Ordinance, except for those standards identified in the Applicant's Density

Bonus Report for which the Applicant seeks a density bonus, waiver, incentive/concession, or parking reduction.

E. The proposed use or facility is properly located relative to the community as a whole and to land uses and transportation and service facilities in the vicinity.

The Project, which is located at the corner of Olive Street and Bridgeway, is properly located relative to the community as it provides a transition between nearby existing commercial uses along Bridgeway and existing single-family homes that are along Olive Street. The existing commercial building on the Project Site was originally built as apartments in 1975, and the Project would return the site to its original use. The Project Site has an existing commercial building, with existing public utility service and is conveniently located with multiple forms of transit within walking distance, including bus access within one block and ferry access within one mile. The proposed use is in an urban environment and properly located to other appropriate land uses, services and transportation. Additionally, under Gov. Code, § 65589.5(d) and Gov. Code, § 65589.5(j), the project is deemed consistent with this requirement.

F. The size and shape of the subject property is adequate to provide features needed to ensure reasonable compatibility with land uses normally permitted in the surrounding area. Features may include but not be limited to yards, open spaces, walls and fences, parking, loading, landscaping, and such features as may be required by this title or the Commission.

G. The size and shape of the property is adequate to provide any specifically required features under the City's zoning requirements. The existing commercial building on the Project Site was originally built as apartments in 1975, and the Project would return the site to its original use. Additionally, under Gov. Code, § 65589.5(d) and Gov. Code, § 65589.5(j), the project is deemed consistent with this requirement. ***Public utilities and facilities are or will be adequate to serve the proposed use, including streets and highways paved (and of adequate width) for the quantity and type of traffic it will generate.***

Public utilities and facilities are or will be adequate to serve the proposed conversion of the existing commercial building to a residential use, including but not limited to the existing street access. The Project Site has an existing commercial building, with existing public utility service and is conveniently located with multiple forms of transit within walking distance, including bus access within one block and ferry access within one mile.

H. The proposed use will not materially adversely affect nearby properties or their permitted uses.

The proposed residential use, which will replace an existing empty office building, will return the property to its original use as an apartment building. This use will not materially adversely affect nearby properties or their permitted uses, as the surrounding properties are either residential (single-family and multi-family) or commercial (services).

I. Findings required by Chapter 10.44 SMC (Specific Use Requirements) for the approval of specific uses are made.

No additional findings are required for the proposed use in Chapter 10.44, and the proposed project complies with the requirements of SMC 10.44.190, except where superseded by the provisions of State Density Bonus Law.

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RESOLUTION NO. 2025-11
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ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions apply to the project at 2015 Bridgeway depicted on plans prepared by Jay Behr titled "2015 Bridgeway", updated May 18, 2025, and received May 21, 2025 (Attachment 3).

COMMUNITY DEVELOPMENT DEPARTMENT:

General Items:

1. Pursuant to Sausalito Municipal Code Section 10.50.120 (Implementation of Permits), it shall be the Applicant's responsibility to diligently proceed to carry out the Conditions of Approval and implement any approved permit(s). This shall include establishing the approved use/implementing the permit(s) within the time limits set forth by the applicable code. Extensions to approved permits may be sought pursuant to SMC 10.50.140.
2. As part of the Building Permit application, all final Conditions of Approval shall be restated on the construction drawings and the applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of Building Permit application and any other subsequent submittals.
3. The project shall be designed and constructed as shown in the set of plans titled "2015 Bridgeway", updated May 18, 2025, and received May 21, 2025 (Attachment 3).
4. Pursuant to SMC 10.50.180.B, the Community Development Director is authorized to administratively approve minor modifications to the approved plans.
5. The Applicant/Property Owner shall defend, indemnify (including reimbursement of all attorneys' fees and costs incurred by the City), and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, claim, damage, or expense (including without limitation attorneys' fees), which may arise out of or concern any City permit decision or approval related to the project, including without limitation, challenges to project approvals or permits under the California Environmental Quality Act, and any and all liability, loss, claim, damage, or expense (including without limitation attorneys' fees), which may arise out of Applicant's construction of the project.
6. In the event that any condition imposing a fee, exaction, dedication, or mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be subject to review by the City and substitute conditions may be imposed.
7. Prior to issuance of a building permit, the applicants shall reimburse the City for any unpaid costs associated with the project, including work done by consultants.

8. The light source for all exterior lighting fixtures shall be shielded from adjacent properties. Lighting shall be designed to focus the light on to only the areas necessary to be illuminated and minimize overflow of lighting off-site.
9. At the time of building permit application, the applicant shall file a reasonable estimate of the value of the project, and based thereon, a construction time limit shall be established for the project in accordance with the criteria set forth in Sausalito Municipal Code Section 10.54.100. The applicant shall submit information reasonably requested by the Community Development Director to support the estimated value of the project. Such documentation may include without limitation an executed construction contract. The time for completion of the construction shall also be indicated on the construction permit.
10. Prior to issuance of a building permit, the Applicant/Property Owner(s) shall carry out and implement the approved Lot Line Merger. The Applicant/Property Owner(s) shall prepare a deed in a form acceptable to the City for recording and shall be responsible for recording the deed in the Official Records of the County of Marin, including payment of all costs of recording.

Special Conditions:

1. Pursuant to Government Code section 65915(c)(1), the Applicant shall ensure the continued affordability of all low-income rental units that qualified the applicant for the award of the density bonus for 55 years or a longer period of time if required by the construction or mortgage financing assistance program, mortgage insurance program, or rental subsidy program. Prior to issuance of certificate of occupancy, the Applicant shall execute and record an affordable housing agreement in a form satisfactory to the City Attorney, ensuring that rents for the lower income units shall be set at an affordable rent, as defined in Section 50053 of the Health and Safety Code for the statutorily required period of time.

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

1. An approval granted by the Engineering Division of the Department of Public Works does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
2. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any Building Permits, unless the requirement is waived pursuant to Section 8.54.050

3. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
4. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500-foot radius of residential zones shall only take place during the following hours:

Weekdays – Between 8:00 a.m. and 6:00 p.m.

Saturdays – Between 9:00 a.m. and 5:00 p.m.

Sundays – Prohibited

City holidays – Prohibited

Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.

5. Pursuant to City of Sausalito Resolution 5116, roadway and subdivision improvements shall comply with the Uniform Construction Standards All Cities and County of Marin and as may be modified by the City Engineer.
6. Improvements within the public right of way shall conform to the Cities and County of Marin "Uniform Construction Standards," available online at: <http://www.marincounty.org/depts/pw/divisions/land-use/ucs>.
7. Any mechanical equipment installed in connection with this project shall be subject to Sausalito Municipal Code Section 12.16.130 - Machinery, equipment, fans and air conditioning.

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2025-11**

May 28, 2025

APN: 064-135-24 and 064-135-28

PROJECT ID: 2024-00241

ATTACHMENT 3: PROJECT PLANS

PROJECT DIRECTORY

**INTERNATIONAL BUSINESS
STRATEGIC CONSULTING**
601 Montgomery Street, Suite 675
San Francisco, CA 94111

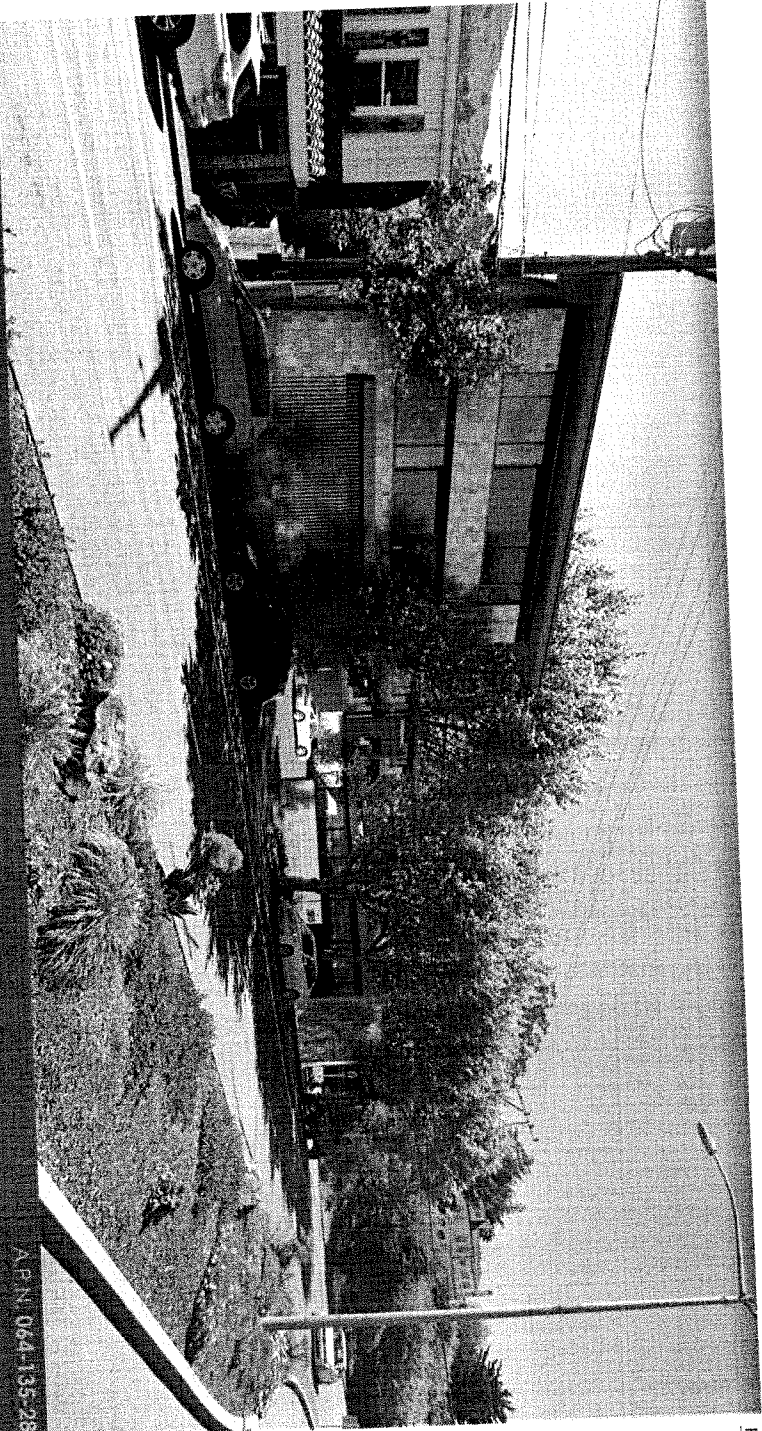
San Jose, CA 95102
Tel: 415.251.1052
San Jose@ibsc.com

**ARCHITECT
SEAN BAILEY DESIGN**
40 Boulevard Street, Suite 100
San Francisco, CA 94115

San Jose
Tel: 415.413.6008
info@seanbaileydesign.com

**LANDSCAPE ARCHITECT
PAUL SHAW**
40 Boulevard Street, Suite 100
San Jose, CA 95102

Paul Shaw
Tel: 415.718.8771
pshaw@pshaw.com



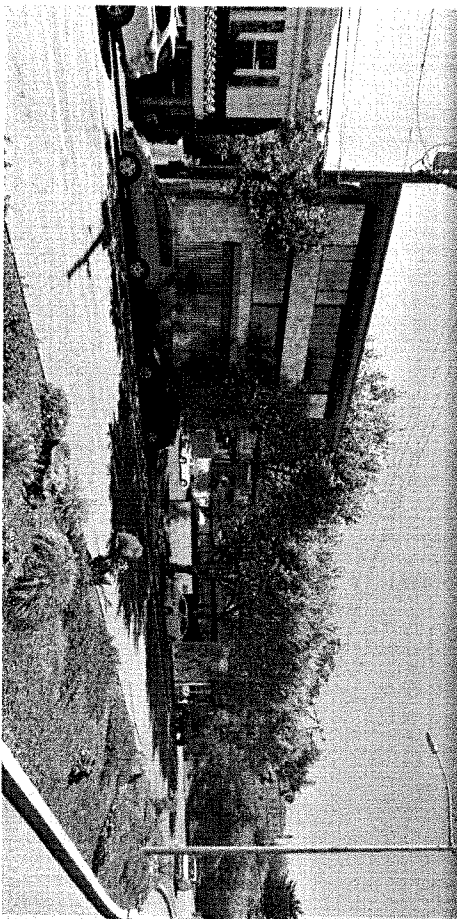
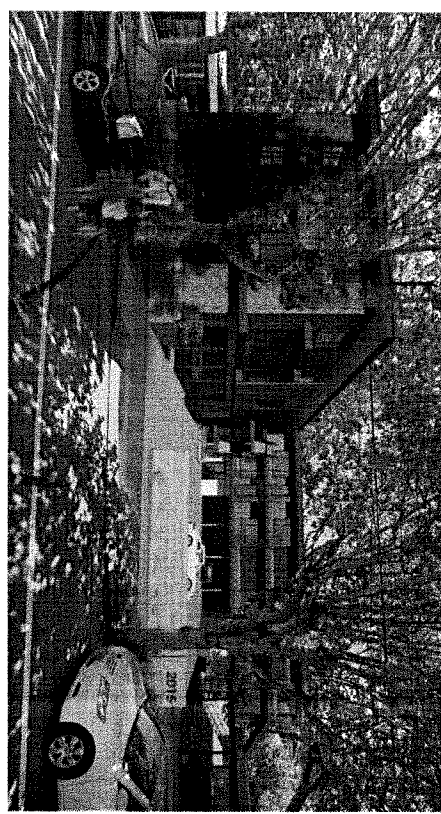
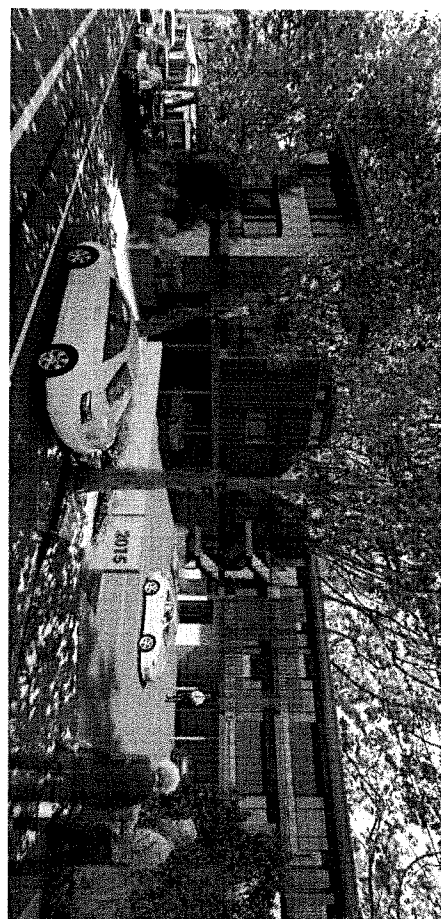
A.P.N. 064-135-28

SEAN
BAILEY
DESIGN



2015 BRIDGEWAY
PLANNING RESUBMISSION SET - MAY 12, 2025

San Jose, California 95102



**2015
 BRIDGEWAY**
 1000 10th Avenue
 Suite 100
 San Francisco, CA 94118
 415.774.0000

NO.	DATE	DESCRIPTION
1	10/15/15	1000 10th Avenue, Suite 100, San Francisco, CA 94118
2	10/15/15	1000 10th Avenue, Suite 100, San Francisco, CA 94118
3	10/15/15	1000 10th Avenue, Suite 100, San Francisco, CA 94118
4	10/15/15	1000 10th Avenue, Suite 100, San Francisco, CA 94118
5	10/15/15	1000 10th Avenue, Suite 100, San Francisco, CA 94118
6	10/15/15	1000 10th Avenue, Suite 100, San Francisco, CA 94118
7	10/15/15	1000 10th Avenue, Suite 100, San Francisco, CA 94118
8	10/15/15	1000 10th Avenue, Suite 100, San Francisco, CA 94118
9	10/15/15	1000 10th Avenue, Suite 100, San Francisco, CA 94118
10	10/15/15	1000 10th Avenue, Suite 100, San Francisco, CA 94118

BRIDGEWAY (VARIES)

OLIVE STREET (60')

SPRING STREET (60')

0 5 10
SCALE IN FEET

LANDS OF RYNDERS, TRUSTEE
311 OLIVE STREET
SALISALTO, CA 94965
D.N. 2008-001098
A.P.N. 064-135-23

WOODWARD VALLEY
1 RM 18

LANDS OF B. H. L. G., LLC
2015 BRIDGEWAY
SALISALTO, CA 94965
D.N. 2008-001098
A.P.N. 064-135-24 & 25

LANDS OF RYNDERS, TRUST
506 & 508 SPRING STREET
SALISALTO, CA 94965
D.N. 2008-001098
A.P.N. 064-135-22

LANDS OF SAILOR
2017 BRIDGEWAY
SALISALTO, CA 94965
D.N. 2008-001098
A.P.N. 064-135-26

- NOTES:**
- UNDERGROUND UTILITIES MAY EXIST. CONSTRUCTION SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CALL 811 OR 415-344-1414 FOR MORE INFORMATION.
 - RECORD OF SURVEY 2005 M 811, AND DEED DOCUMENT NUMBER 064-02986, RECORD OF SURVEY 2005 M 811, AND DEED DOCUMENT NUMBER 064-02986, RECORD OF SURVEY 2005 M 811, AND DEED DOCUMENT NUMBER 064-02986, RECORD OF SURVEY 2005 M 811, AND DEED DOCUMENT NUMBER 064-02986.
 - THE ELEVATIONS ON THIS MAP CONFORM WITH THE CONTIGUOUS USED ON MAPS AND THE CONTROL POINT SHOWN WITHIN THE CONTIGUOUS USED ON MAPS AND THE CONTROL POINT SHOWN WITHIN THE CONTIGUOUS USED ON MAPS.
 - THIS TOPOGRAPHIC SURVEY'S OBSERVATION IS BASED ON MARIETTA NORTH CORNER OF LOT 9 WAS ESTIMATED TO BE AT ELEVATION 2.06.
 - THE AREA OF EACH PAVEMENT BEING SURVEYED IS APPROXIMATELY 1,000 SQUARE FEET WITH A CORNER MARK, 12 INCH DIA.

LEGEND

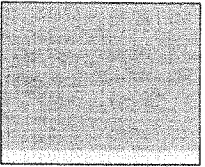
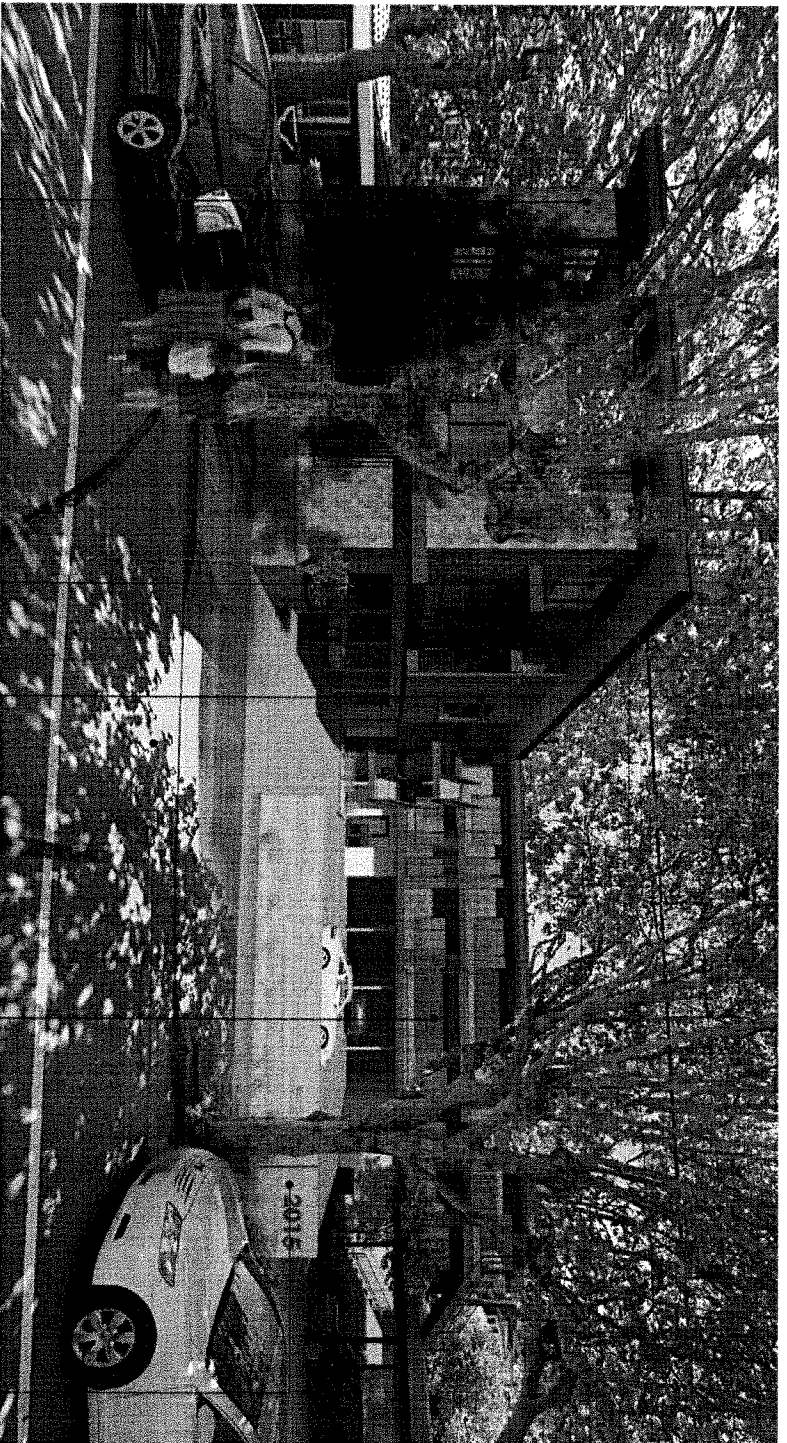
PROPERTY BOUNDARY LINE
1" = 100' SCALE
SPOT ELEVATION
1" = 100' SCALE
FOUND BY REBAR
FOUND BY 1/2" DIA. 1/2" DIA.



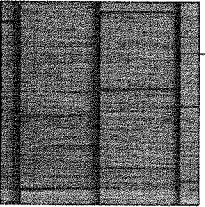
TOPOGRAPHIC SURVEY
OF THE LANDS OF B.H.L.G., LLC AS SHOWN ON THE
WOODWARD VALLEY SUBDIVISION MAP, LOTS 5, 6, 7
AND 8, FILED JULY 1, 1982 IN VOLUME 1 OF MAPS,
AT PAGE 18, MARIN COUNTY RECORDERS
CITY OF SALISALTO, MARIN COUNTY
STATE OF CALIFORNIA
ALSO SUBMITTED TO THE MARIN COUNTY
RECORDERS FOR RECORDATION
DATE OF SURVEY: 11/11/2008
SCALE: 1" = 40'
SHEET 1 OF 1



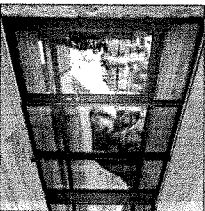
NO.	DESCRIPTION	DATE
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2	BRIDGEWAY	11/11/2008
3	BRIDGEWAY	11/11/2008
4	BRIDGEWAY	11/11/2008
5	BRIDGEWAY	11/11/2008
6	BRIDGEWAY	11/11/2008
7	BRIDGEWAY	11/11/2008
8	BRIDGEWAY	11/11/2008
9	BRIDGEWAY	11/11/2008
10	BRIDGEWAY	11/11/2008



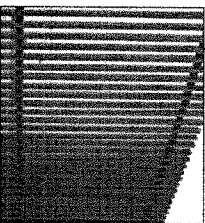
① DETAIL OF WALL SECTION: TRANSITION



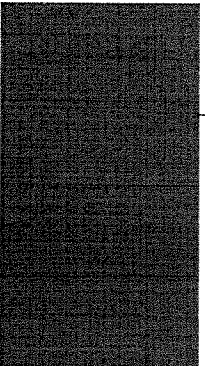
② DETAIL OF WALL SECTION: TRANSITION



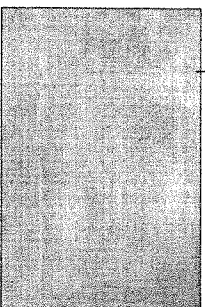
③ DETAIL OF WALL SECTION: TRANSITION



④ DETAIL OF WALL SECTION: TRANSITION



⑤ DETAIL OF WALL SECTION: TRANSITION



⑥ DETAIL OF WALL SECTION: TRANSITION



SEAL
BAILEY
DESIGN
2015
2015
2015

201
BRIDGE
BRIDGE

2015

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	CONCRETE	100	CU YD	120.00	12000.00
2	STEEL	100	LB	0.50	50.00
3	PAINT	100	GA	1.00	100.00
4	REINFORCING	100	LB	0.50	50.00
5	FORMWORK	100	CU YD	120.00	12000.00
6	CONCRETE	100	CU YD	120.00	12000.00
7	STEEL	100	LB	0.50	50.00
8	PAINT	100	GA	1.00	100.00
9	REINFORCING	100	LB	0.50	50.00
10	FORMWORK	100	CU YD	120.00	12000.00

MATERIALS REQUIRED

2015

A0.4

2015

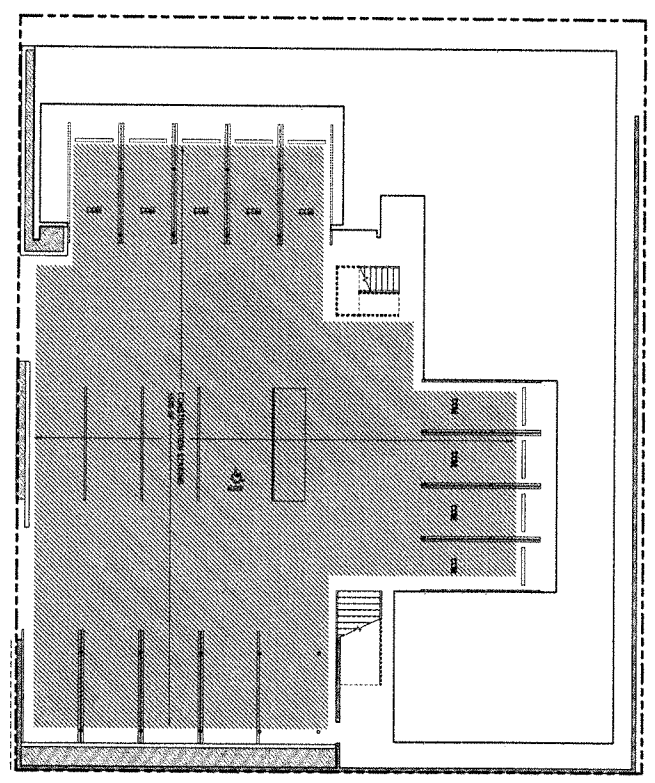


NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	LANDSCAPE & SLOPING PLAN	1	EA	100.00	100.00
2	BRIDGEWAY	1	EA	100.00	100.00
3	BRIDGEWAY	1	EA	100.00	100.00
4	BRIDGEWAY	1	EA	100.00	100.00
5	BRIDGEWAY	1	EA	100.00	100.00
6	BRIDGEWAY	1	EA	100.00	100.00
7	BRIDGEWAY	1	EA	100.00	100.00
8	BRIDGEWAY	1	EA	100.00	100.00
9	BRIDGEWAY	1	EA	100.00	100.00
10	BRIDGEWAY	1	EA	100.00	100.00

LANDSCAPE &
SLOPING
PLAN

DATE: 11.20.2023
DRAWN BY: [Name]
CHECKED BY: [Name]

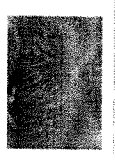
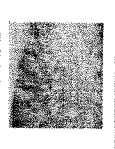
A0.6



CLAIMING LINE SHOWN

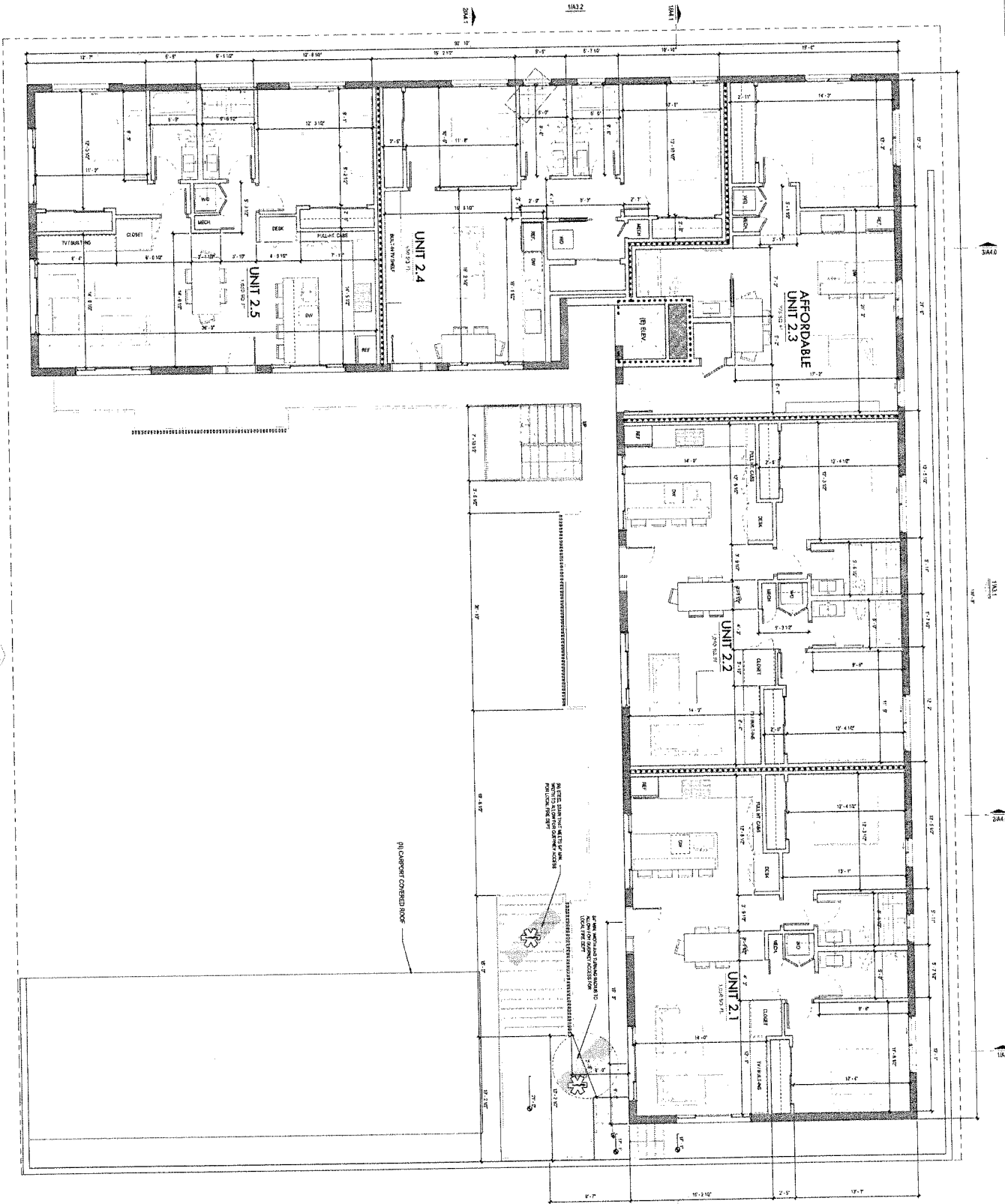
LANDSCAPE AREAS
SHOWN ARE APPROXIMATE
LESS THAN 10' WIDE. HEIGHT
24' 6" TOTAL LANDSCAPE AREA
SHOWN IS 75% OF TOTAL
LANDSCAPE AREAS TO BE
INSTALLED. PROPOSED

SPRINGS & SPRINGS



1" = 10'

Landscape & Sloping Plan



1 floor plan - level 2 proposed

GENERAL NOTES

- Legend**
- EXISTING WALL
 - NEW WALL
 - REMOVE WALL
 - ADDITION OF EXISTING WINDOW
 - NEW WINDOW
 - REMOVE WINDOW
 - ADDITION OF EXISTING DOOR
 - NEW DOOR
 - REMOVE DOOR
 - ADDITION OF EXISTING STAIR
 - NEW STAIR
 - REMOVE STAIR
 - ADDITION OF EXISTING ROOF
 - NEW ROOF
 - REMOVE ROOF

SHEET INDEX

NO.	DESCRIPTION	DATE
1	2011 BRIDGEWAY	2011
2	2012 BRIDGEWAY	2012
3	2013 BRIDGEWAY	2013
4	2014 BRIDGEWAY	2014
5	2015 BRIDGEWAY	2015
6	2016 BRIDGEWAY	2016
7	2017 BRIDGEWAY	2017
8	2018 BRIDGEWAY	2018
9	2019 BRIDGEWAY	2019
10	2020 BRIDGEWAY	2020

ROOM NAME LEVEL

2011 BRIDGEWAY

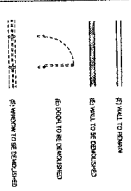
2012 BRIDGEWAY



BAILEY DESIGN
www.baileydesign.co
2010 Bailey Design
2011 Bailey Design
2012 Bailey Design
2013 Bailey Design
2014 Bailey Design
2015 Bailey Design
2016 Bailey Design
2017 Bailey Design
2018 Bailey Design
2019 Bailey Design
2020 Bailey Design



liegend



DEMO CALC FOR COR SECTION 10.42 (980A)
ILL OF THE SAN ANTONIO MUNICIPAL CODE

LEVEL 1 TOTAL WALL (LINEAL FT.)	693 FT.
LEVEL 1 DEMO WALL (LINEAL FT.)	236 FT.
LEVEL 2 TOTAL WALL (LINEAL FT.)	757.5 FT.
LEVEL 2 DEMO WALL (LINEAL FT.)	348 FT.
LEVEL 3 TOTAL WALL (LINEAL FT.)	757.5 FT.
LEVEL 3 DEMO WALL (LINEAL FT.)	348 FT.
TOTAL WALL (LINEAL FT.)	2,208 FT.
TOTAL DEMO WALL (LINEAL FT.)	972 FT. (44%)

sheet notes

Sl. No.	Name of the Candidate	Grade	Remarks
1	...	...	...
2	...	...	...
3	...	...	...
4	...	...	...
5	...	...	...
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**2011
BRIDGEWAY
ESTABLISHED 1980**

ADN : 044-126-26

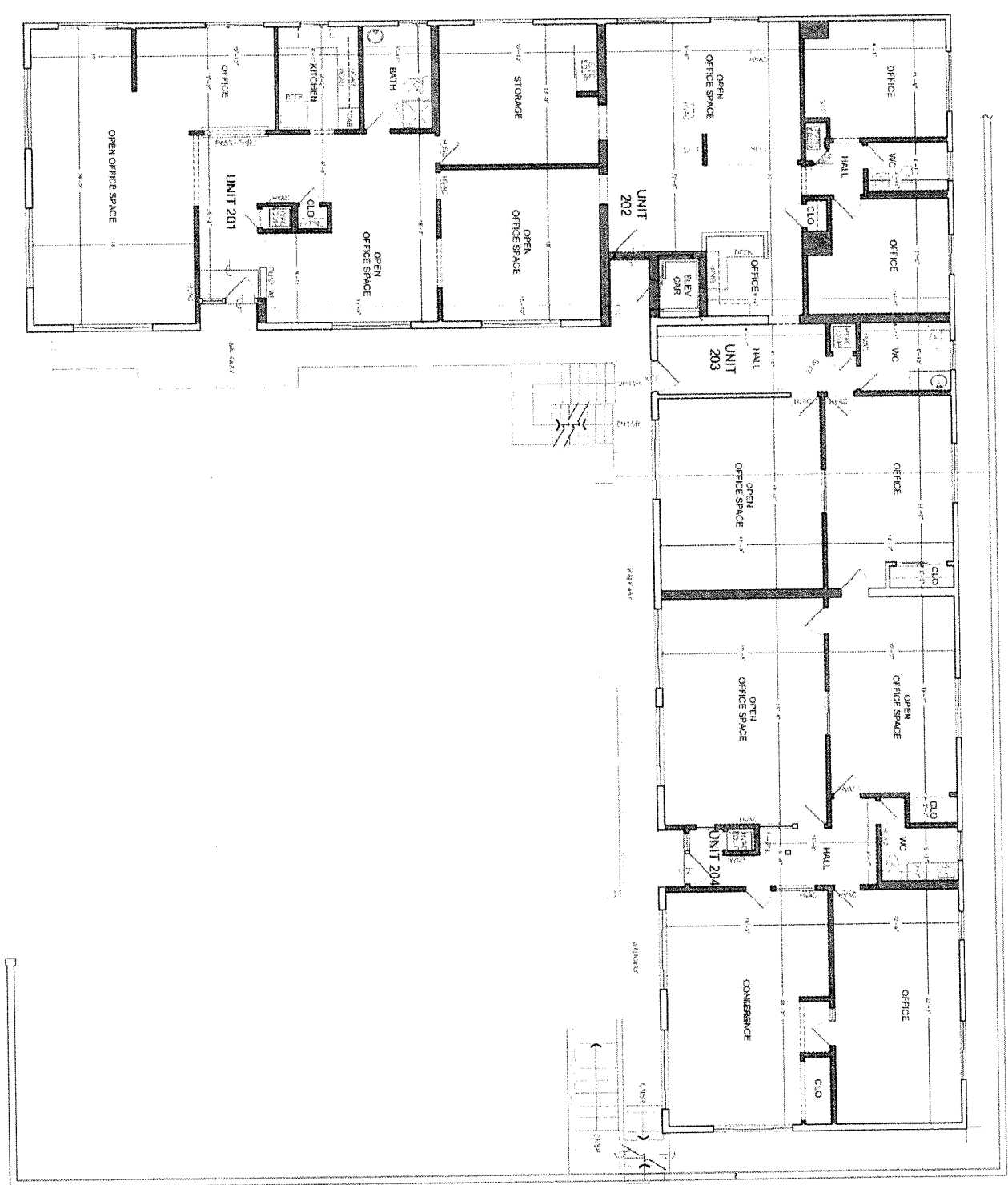
FLOOR PLAN - LEVEL
EXISTING

May 18 2025

A2.3

Page of Number 2020.18

floor plan - level 2 existing / demo



general notes

SLAR
BAILEY
DESIGN

20100, Avenue
Suite 100, Irvine, CA 92618
(949) 261-1111
www.slardesign.com



legend

sheet notes

2015
BRIDGEWAY
20150101

20150101

NO.	DESCRIPTION	DATE
1	BRIDGEWAY	20150101
2	BRIDGEWAY	20150101
3	BRIDGEWAY	20150101
4	BRIDGEWAY	20150101
5	BRIDGEWAY	20150101
6	BRIDGEWAY	20150101
7	BRIDGEWAY	20150101
8	BRIDGEWAY	20150101
9	BRIDGEWAY	20150101
10	BRIDGEWAY	20150101

PROJECT NAME
BRIDGEWAY

DATE
20150101

A2.6

roof plan

1A3.3

244.0

1A3.1

244.0

1A3.0

1A3.2

244.1

1A3.0

20' 0" TYP. POORING IS REQUIRED
AND TYP. POORING IS REQUIRED

20' 0" TYP. POORING IS REQUIRED
AND TYP. POORING IS REQUIRED

20' 0" TYP. POORING IS REQUIRED
AND TYP. POORING IS REQUIRED

1A3.4

- sheet notes

EXTERIOR
ELEVATIONS - WEST



- [illegible]

sheet notes

序号	姓名	性别	年龄	籍贯	民族	文化程度	职业	工作单位	住址	联系电话	电子邮箱
1	王小明	男	25	浙江杭州	汉族	高中	学生	浙江省杭州高级中学	浙江省杭州市西湖区	13800000000	13800000000@qq.com
2	李小红	女	22	广东广州	汉族	初中	学生	广东省广州市第一中学	广东省广州市天河区	13900000000	13900000000@163.com
3	张华	男	30	江苏苏州	汉族	大学	教师	江苏省苏州大学	江苏省苏州市姑苏区	13700000000	13700000000@sina.com
4	刘伟	男	28	湖北武汉	汉族	高中	学生	湖北省武汉市第一中学	湖北省武汉市武昌区	13600000000	13600000000@126.com
5	陈丽	女	24	四川成都	汉族	大学	学生	四川省成都大学	四川省成都市武侯区	13500000000	13500000000@foxmail.com
6	赵强	男	26	山东青岛	汉族	高中	学生	山东省青岛第一中学	山东省青岛市市南区	13400000000	13400000000@188.com
7	孙悦	女	23	湖南长沙	汉族	大学	学生	湖南省长沙大学	湖南省长沙市岳麓区	13300000000	13300000000@139.com
8	周涛	男	27	河南郑州	汉族	高中	学生	河南省郑州第一中学	河南省郑州市金水区	13200000000	13200000000@163.com
9	吴昊	男	21	广西桂林	汉族	初中	学生	广西壮族自治区桂林第一中学	广西壮族自治区桂林市	13100000000	13100000000@126.com
10	郑宇	男	29	福建厦门	汉族	大学	教师	福建省厦门大学	福建省厦门市思明区	13000000000	13000000000@sina.com

**EXTERIOR
ELEVATIONS - SOUTH
PROPOSED & EXISTING**

A3.1

GENERAL NOTES

- Legend**
- 1. CORNER IRON PIPES SHALL BE 1/2" DIA. GALVANIZED STEEL PIPE WITH 1/2" DIA. FLANGES.
 - 2. ALL IRON PIPES SHALL BE 1/2" DIA. GALVANIZED STEEL PIPE WITH 1/2" DIA. FLANGES.
 - 3. ALL IRON PIPES SHALL BE 1/2" DIA. GALVANIZED STEEL PIPE WITH 1/2" DIA. FLANGES.
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 - 9. ALL IRON PIPES SHALL BE 1/2" DIA. GALVANIZED STEEL PIPE WITH 1/2" DIA. FLANGES.
 - 10. ALL IRON PIPES SHALL BE 1/2" DIA. GALVANIZED STEEL PIPE WITH 1/2" DIA. FLANGES.

SHIELD NOTES

201
BRIDGMA
1/2" x 1/2" x 1/2"

APR 10/12/12

ITEM	DESCRIPTION	QUANTITY	UNIT
1	1/2" x 1/2" x 1/2"	1	EA
2	1/2" x 1/2" x 1/2"	1	EA
3	1/2" x 1/2" x 1/2"	1	EA
4	1/2" x 1/2" x 1/2"	1	EA
5	1/2" x 1/2" x 1/2"	1	EA
6	1/2" x 1/2" x 1/2"	1	EA
7	1/2" x 1/2" x 1/2"	1	EA
8	1/2" x 1/2" x 1/2"	1	EA
9	1/2" x 1/2" x 1/2"	1	EA
10	1/2" x 1/2" x 1/2"	1	EA

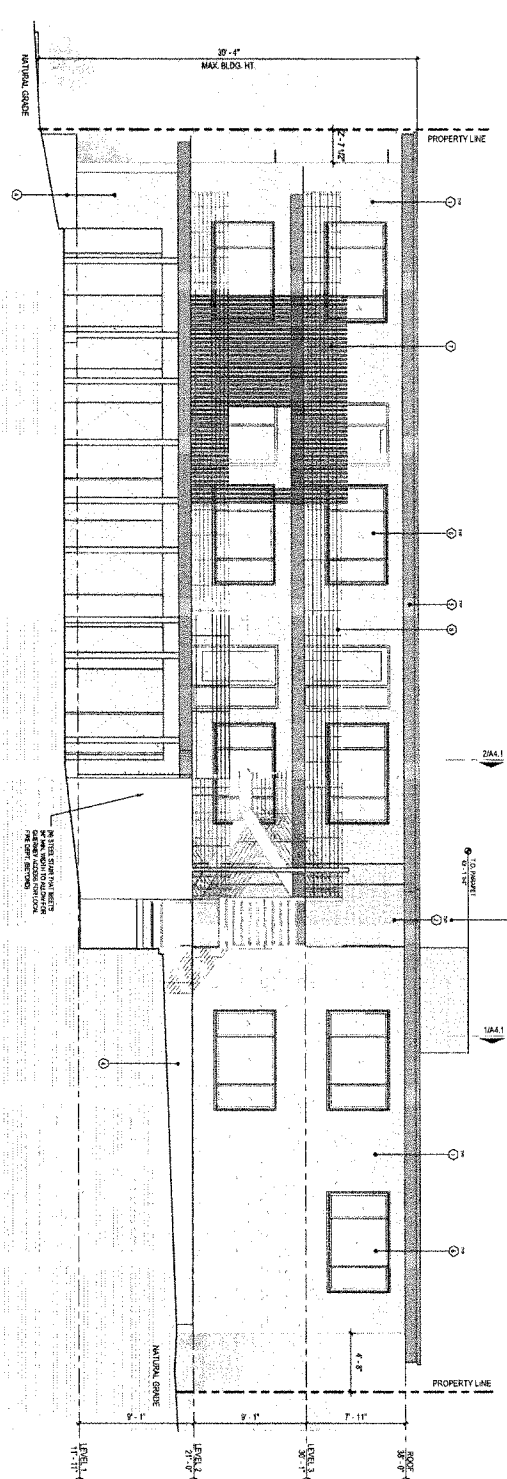
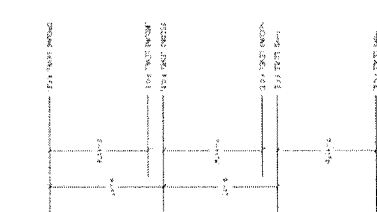
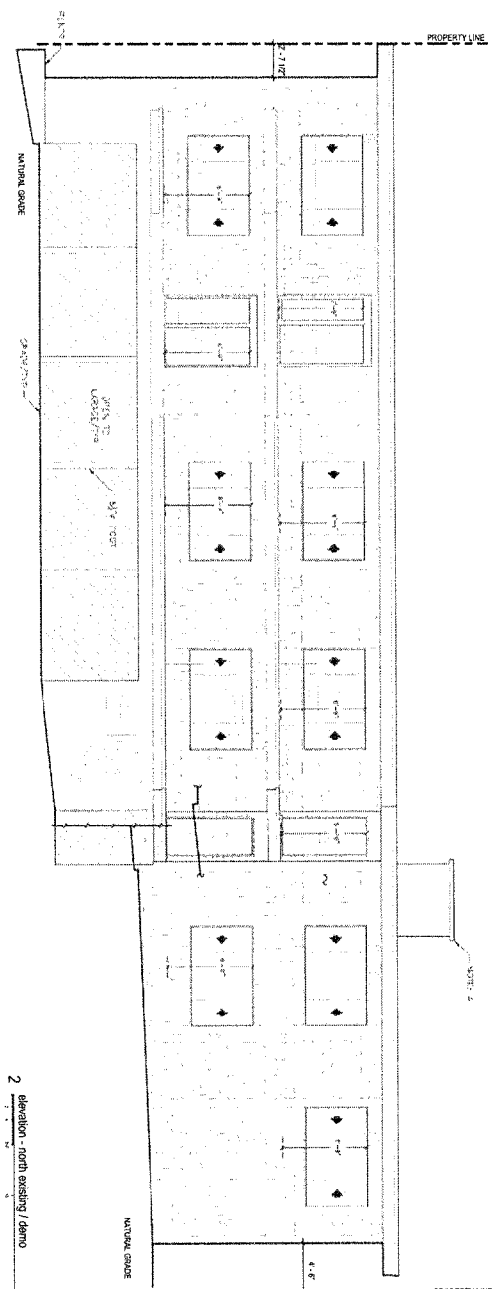
ELEVATION NORTH
ELEVATION NORTH
ELEVATION NORTH

1/2" x 1/2" x 1/2"

A3.4



SEAN BAILEY
DESIGN
www.seanbaileydesign.com
10000
12/31/2012



1 north elevation - proposed

2 elevation - north existing / demo

GENERAL NOTES

Legend



SEAN
BAILEY
DESIGN
26137, License
01/01/2018
12/31/2021
www.seandesign.com
3400 WILSON AVENUE
SUITE 100
OAKLAND, CA 94612

2015
BRIDGEWAY
REVISIONS

DATE: 04/15/20

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	04/15/20
2	REVISED PER PERMIT	04/15/20
3	REVISED PER PERMIT	04/15/20
4	REVISED PER PERMIT	04/15/20
5	REVISED PER PERMIT	04/15/20
6	REVISED PER PERMIT	04/15/20
7	REVISED PER PERMIT	04/15/20
8	REVISED PER PERMIT	04/15/20
9	REVISED PER PERMIT	04/15/20
10	REVISED PER PERMIT	04/15/20

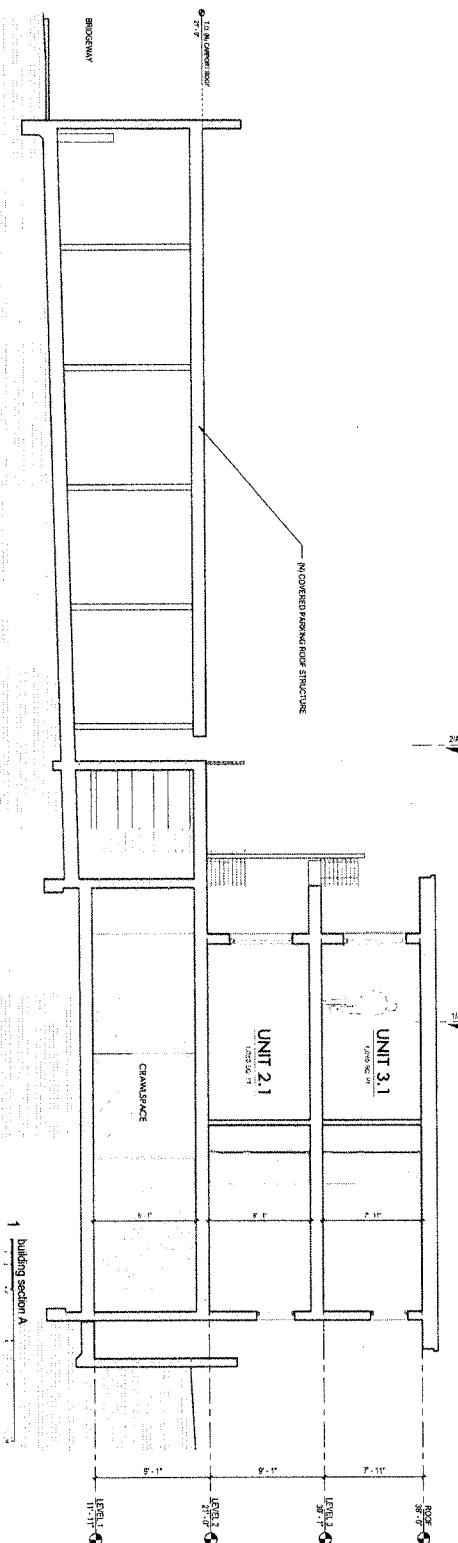
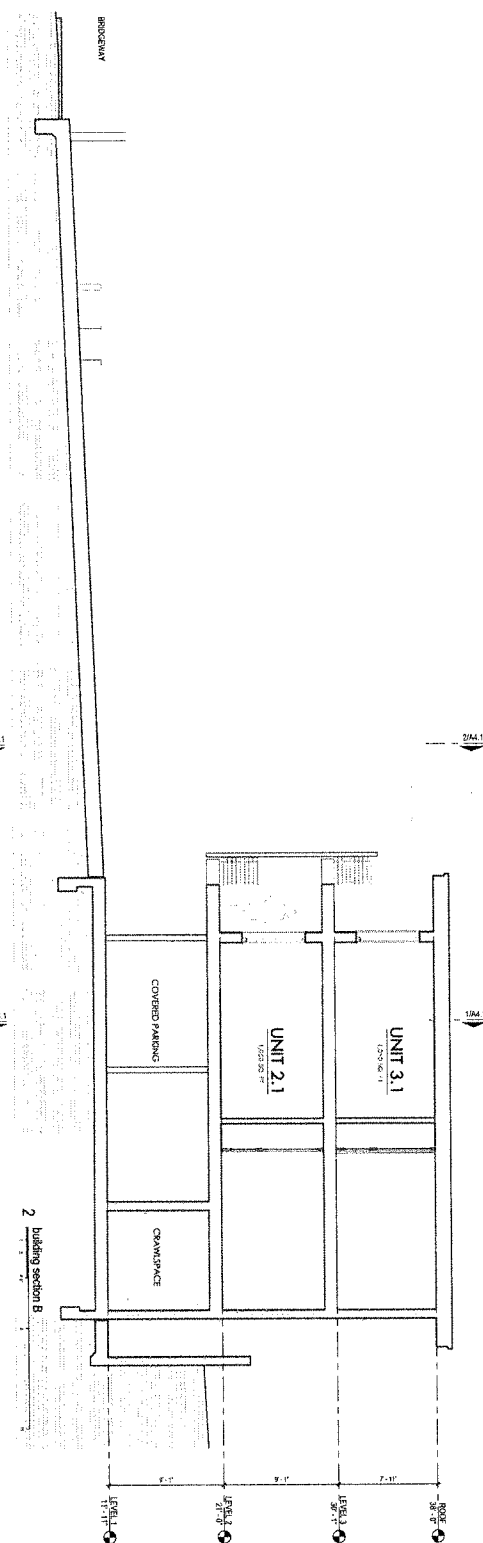
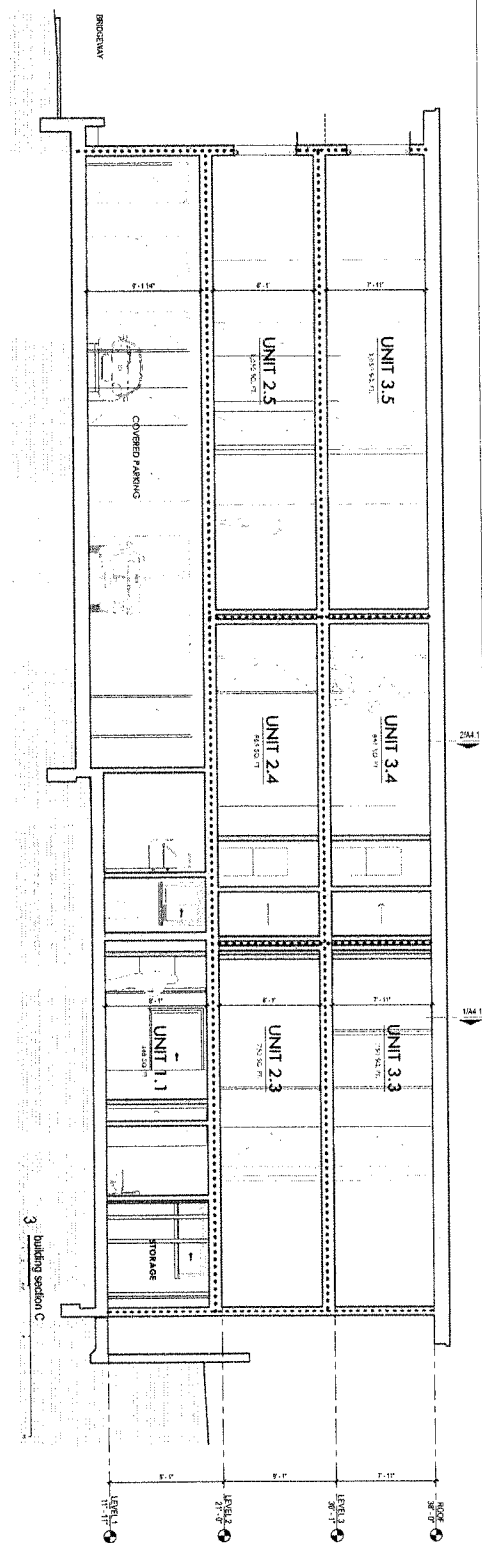
BRIDGEWAY

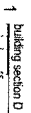
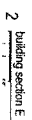
DATE: 04/15/20

A4.0

2020.19

BRIDGEWAY





201
BRIDGEWAY
BRIDGEWAY, COA 940
ALM 044-135-2

Sl. No.	Particulars	Amount
1	Salaries & Wages	10000
2	Office Expenses	5000
3	Depreciation	2000
4	Interest on Capital	1000
5	Interest on Loan	1000
6	Dividend	1000
7	Transfer to Reserve	1000
8	Transfer to Profit & Loss	1000
9	Transfer to General Reserve	1000
10	Transfer to Special Reserve	1000
11	Transfer to Contingent Reserve	1000
12	Transfer to Debenture Reserve	1000
13	Transfer to Sinking Fund Reserve	1000
14	Transfer to Redemption Reserve	1000
15	Transfer to Capital Redemption Reserve	1000
16	Transfer to Share Redemption Reserve	1000
17	Transfer to Investment Redemption Reserve	1000
18	Transfer to Miscellaneous Reserve	1000
19	Transfer to Reserve for Contingencies	1000
20	Transfer to Reserve for Depreciation	1000
21	Transfer to Reserve for Obsolescence	1000
22	Transfer to Reserve for Losses	1000
23	Transfer to Reserve for Gains	1000
24	Transfer to Reserve for Exchange Fluctuations	1000
25	Transfer to Reserve for Price Fluctuations	1000
26	Transfer to Reserve for Currency Fluctuations	1000
27	Transfer to Reserve for Taxation	1000
28	Transfer to Reserve for Government Grants	1000
29	Transfer to Reserve for Donations	1000
30	Transfer to Reserve for Miscellaneous Income	1000
31	Transfer to Reserve for Miscellaneous Expenditure	1000
32	Transfer to Reserve for Miscellaneous Assets	1000
33	Transfer to Reserve for Miscellaneous Liabilities	1000
34	Transfer to Reserve for Miscellaneous Income & Expenditure	1000
35	Transfer to Reserve for Miscellaneous Assets & Liabilities	1000
36	Transfer to Reserve for Miscellaneous Income, Expenditure, Assets & Liabilities	1000
37	Transfer to Reserve for Miscellaneous Income, Expenditure, Assets & Liabilities & Miscellaneous Income & Expenditure	1000
38	Transfer to Reserve for Miscellaneous Income, Expenditure, Assets & Liabilities & Miscellaneous Income, Expenditure, Assets & Liabilities & Miscellaneous Income & Expenditure	1000
39	Transfer to Reserve for Miscellaneous Income, Expenditure, Assets & Liabilities & Miscellaneous Income, Expenditure, Assets & Liabilities & Miscellaneous Income, Expenditure, Assets & Liabilities & Miscellaneous Income & Expenditure	1000
40	Transfer to Reserve for Miscellaneous Income, Expenditure, Assets & Liabilities & Miscellaneous Income, Expenditure, Assets & Liabilities & Miscellaneous Income, Expenditure, Assets & Liabilities & Miscellaneous Income, Expenditure, Assets & Liabilities & Miscellaneous Income & Expenditure	1000

